



BRIDGE
POINTE
AT JEKYLL SOUND



ARCHITECTURAL AND LANDSCAPE
STYLE BOOK





The logo features a stylized yellow bridge with two towers and a blue water wave below it, all enclosed in a blue oval. To the right of the oval, the word "BRIDGE" is in blue, "POINTE" is in a larger blue font, and "AT JEKYLL SOUND" is in yellow below it.

BRIDGE POINTE AT JEKYLL SOUND

There is a place along the Georgia Coast. A place you see every time you close your eyes. Where nature reigns, privacy prevails and the best of coastal living along the water awaits.

Bridge Pointe welcomes its residents to an unrivaled coastal lifestyle that encompasses fabulous boating and fishing, direct Intercoastal Waterway and ocean access with close proximity to the world-renowned beaches, history and recreation of Georgia's famed Golden Isles. The inspiring beauty of this water-rich landscape shapes the compelling homesites at Bridge Pointe where choices of sweeping marsh vistas, serene lakeside settings and wooded interior settings await.

As Bridge Pointe at Jekyll Sound begins to take its place among the most cherished of coastal Georgia's premier waterfront communities, we invite you to enjoy the pleasures of beginning to plan the coastal home of which you've always dreamed.



Bridge Pointe at Jekyll Sound Community and the Home Owner's Association (HOA) stands ready to assist you at every turn. If you have any questions, suggestions or concerns, please contact us.

BRIDGE POINTE AT JEKYL SOUND

c/o PMSI
 Attn: BPJSCA, Inc. - DRC
 P.O. Box 1987
 Yulee, Florida 32041
 www.bridgepointeje.com

In the Area:

The pleasures of life at Bridge Pointe are heightened by the ease of proximity to the delights of Georgia's renowned Golden Isles, Jekyll Island, St. Simons Island, Sea Island, Little St. Simons Island, mainland Brunswick and Cumberland Island are all just a short distance away by boat or car. At every turn, find inspiring natural beauty, rich history, sun-washed beaches, great shopping, dining, cultural offerings and world-class recreation, from golf and tennis to sportfishing and boating.



DIRECTIONS TO BRIDGE POINTE AT JEKYL SOUND

If Traveling South:

Take I-95 south to Georgia Exit 26. After exiting, turn left (heading east) onto Dover Bluff Road. Go approximately 3.5 miles to the Bridge Pointe at Jekyll Sound Entrance on the left.

If Traveling North:

Take I-95 north to Georgia exit 26. After exiting, turn right (heading east) onto Dover Bluff Road. Go approximately 3.5 miles to the Bridge Pointe at Jekyll Sound Entrance on the left.



AREA MAP AND INFORMATION

METHODS AND MATERIALS USED TO MAKE YOUR HOME A REALITY

These guidelines allow you to visualize the look and feel of the community as a whole. This allows you to imagine ways in which their individual visions can fit into the larger natural panorama that surrounds them.

One of the most notable hallmarks of Bridge Pointe's architectural style is its versatility. While it remains true to the spirit of place, owners find it natural to put their own identity into the design of their homes, the basic style providing a guideline that encourages individual flourishes and a clear sense of personality. In each case, by creating their homes in accord with the traditions of coastal Georgia, they are not putting their stamp on the land, but they are putting the landscape into their own vision.

With this in mind, design standards are established so that owners may benefit from the natural advantages of a homesite's location. To ensure that the continuum between structure and site is preserved, all buildings must be individually designed to fit the natural contours of the homesite without excessive grading intervention. When reviewing the plans of a proposed building, some things to think about include the massing, period architectural aesthetics, proportions, and the overall scale of the building in relation to the site and neighboring properties.

These elements of composition reflect the Design Philosophy while providing the owner with a clear set of guidelines for basic structures. Such elements are critical to ensure the character of Bridge Pointe's "Southern Traditional" architectural style. At the same time, they provide the strong grounding necessary to enable Bridge Pointe owners to envision new horizons. Once these architectural cornerstones are in place, a number of artistic directions are possible.



HOMES IN THE
BRIDGE POINTE TRADITION



Bridge Pointe Proposed - Amenity Rendering is for concept only



Bridge Pointe Proposed - Amenity Rendering is for concept only

Though they adhere to a defined set of design guidelines, homes at Bridge Pointe may be somewhat varied in terms of design style. The “accumulation of house” will appear as a true community, though individual homes will feature subtle design distinctions in terms of colors, materials, siding, and architectural details. The variability will convey a sense of individuality and reflect a unique “sense of place”.

This Book has been designed as a guide to the application of the founding principles and Architectural Design Guidelines that will define the vision of Bridge Pointe. It is presented as a tool to cultivate a more complete understanding of the HOA’s vision and to guide you through the design and construction of your home at Bridge Pointe. It should not be considered a substitute for the requirements contained in the Architectural Design Guidelines for the community. It is our desire that this guide will contribute to both the fulfillment of the intentions and your own dreams.

The overall theme is to help you, as a future resident, understand and relate to the vision of community that has evolved for Bridge Pointe.

Some specific parts of this Book will serve to describe our concept for the neighborhood and how each individual home will blend into that character. Other parts will serve to help you and your architect and/or design professional apply the Architectural Design Guidelines to your vision for your own home.

The Homesites - discusses how the home needs to be designed to fit each unique lot. Setbacks preserve privacy and open space for all. No individual home should dominate a neighborhood.

The Architecture - will serve to help interpret the Architectural Design Guidelines. It is broken into structural and visual elements of the houses and provides descriptive and detailed information on the design of each element. Each section provides the latitude for creativity, but also gives the guidance for compatibility within the neighborhood and the local environment. This section deserves your dedicated attention.

The Landscape - is a vitally important part of your new home and this section will help in determining which plants will thrive and enhance the appearance of each home.

Other sections include a message from the HOA and a listing of the responsibilities of each of the many parties involved in the design building, and approval of your new home.

In addition to some detailed text and illustrations, you will find photographs throughout this document which exemplify highly desirable and prototypical executions of the style objective for this special place. We hope that you find this guide interesting, informative and easy to use.

* Always refer to the Bridge Pointe Architectural Design Guidelines for specific requirements.



ROOFS

At Bridge Pointe, the Southern Traditional architecture is very specific in many of its components with roofs being a major defining element of design. The intention of the roof is to provide a protection from the natural elements.

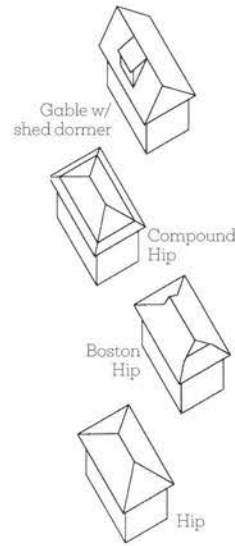
Complementing the components of the roof is the nature of the craftsmanship that goes into the aesthetics of the design. Such protection and aesthetics are defined as follows:

Materials

Roof materials may be chosen from a selection of standing seam metal, 5V crimp metal or fiberglass shingles. Colors will be limited to mill finishes and shades of gray with select accent colors. Any color selections for the property shall be subject to the approval by the DRC.

Methods of Construction

Roof overhangs are an essential part of the Southern Traditional architectural style. Overhangs should be maximized wherever possible to provide shelter from both the subtropical sun and rain showers. Any roof overhangs that incorporate balconies, decks and screened porches are encouraged. The detailing of these overhangs should give a clear understanding of the nature of the craftsmanship and use of materials, such as simply profiled exposed rafter tails, bird/vent boards and exposed roof purlins.



Details and Examples

The roofs of all residences within the community shall have a similarity of form. All gable and hip roofs shall have a minimum roof slope of 5/12 and maximum 12/12. Secondary roof structures shall not exceed 30% of the footprint.

Roofing less than 3/12 slope is acceptable only in minor areas (not to exceed 15% of roofing area) where it will be used as a connection to, or between, larger roofed areas, attached shed roofs or shed roofs at the porches. All connecting roofs shall have a roof with material compatible with the main building structure. An alternate color is allowed for these secondary roofs.

The roof styles used in the Southern Traditional designs are represented here in the graphic details. All roof accessories, such as vent stacks and roof vents shall be painted to match the roof color. Wherever possible, vents shall be located away from the entry elevations. Copper flashing is recommended except in the case of metal roofs where it shall be of the same material as the roof. Roof overhangs shall be a minimum of 18". Half round rain gutters are permitted. Vinyl soffits are not permitted.

The use of solar energy producing devices and personal satellite dishes are entirely subject to the DRC approval, and in all cases must be completely hidden from view from the street and adjacent properties.

WALLS

Materials

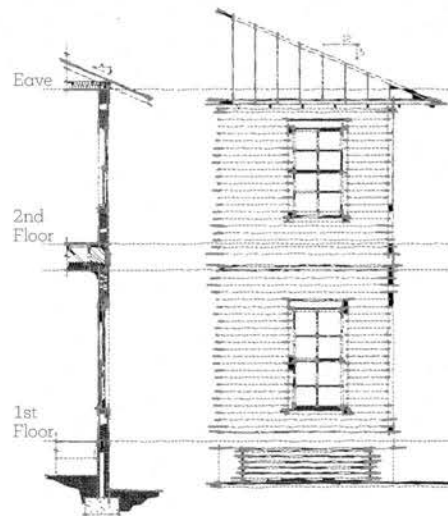
Acceptable siding materials include pressure treated pine, cedar, cypress, fiber cement, and vertical or horizontal siding (smooth face only). A lap siding or board and batten application is recommended.

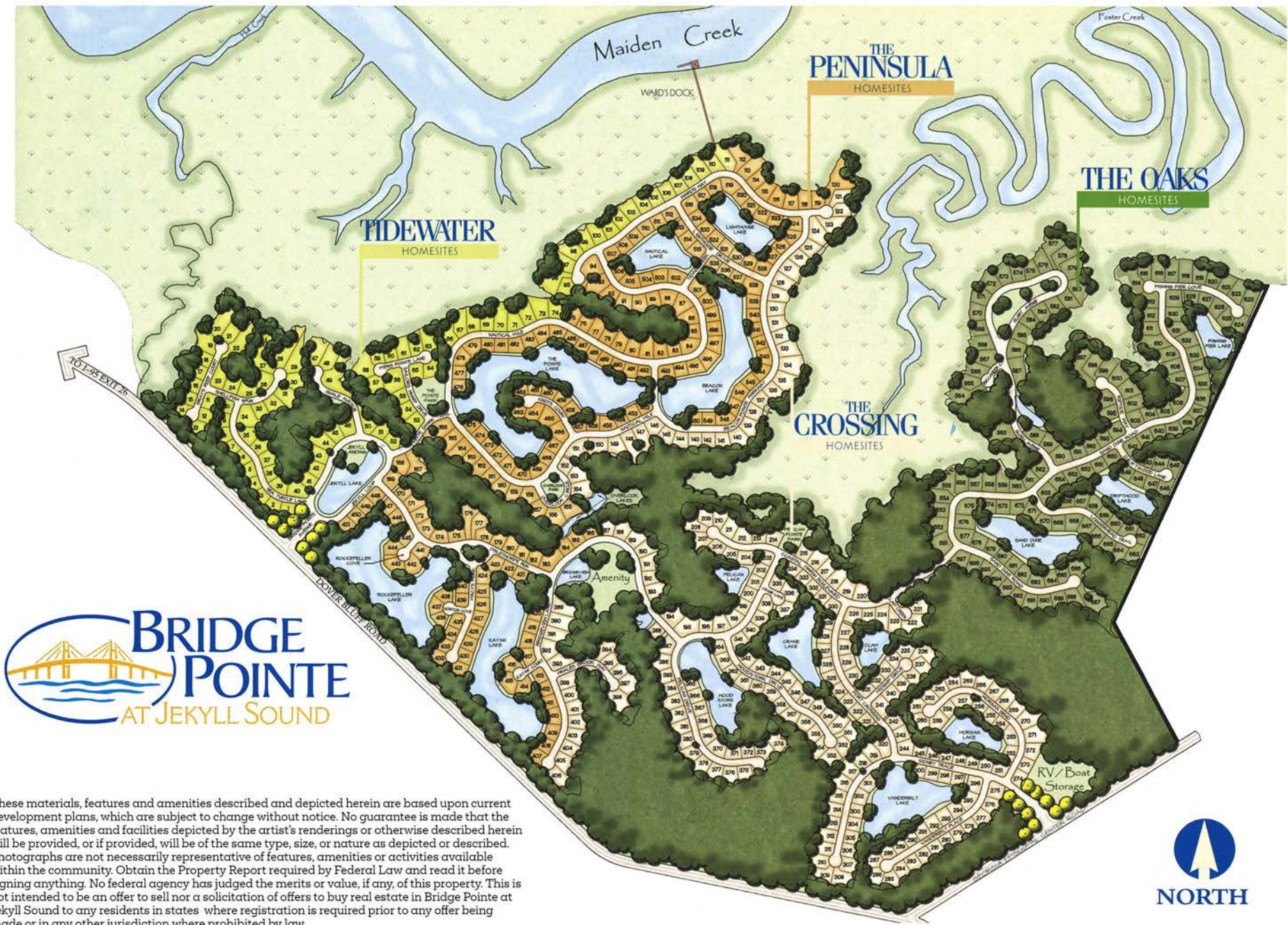
Methods of Construction

The method of wall construction above finished floor slab for these homes is commonly referred to as frame construction. These walls may be comprised of 2x4, 2x6 or 2x8 stud wall construction with structural sheathing substrate topped with a wood shake, wood siding design or combination. Tabby and brick are permitted on the foundation only.

Details and Examples

The simple use of combination or the siding materials permitted will allow for a number of appropriate and unique designs to occur. See color chart on Page 12.





These materials, features and amenities described and depicted herein are based upon current development plans, which are subject to change without notice. No guarantee is made that the features, amenities and facilities depicted by the artist's renderings or otherwise described herein will be provided, or if provided, will be of the same type, size, or nature as depicted or described. Photographs are not necessarily representative of features, amenities or activities available within the community. Obtain the Property Report required by Federal Law and read it before signing anything. No federal agency has judged the merits or value, if any, of this property. This is not intended to be an offer to sell nor a solicitation of offers to buy real estate in Bridge Pointe at Jekyll Sound to any residents in states where registration is required prior to any offer being made or in any other jurisdiction where prohibited by law.

MASTER SITE PLAN

Materials

Clad exterior/wood interior windows are strongly suggested, as are the use of French doors in combination with windows. They should be carefully proportioned to enhance the exterior appearance and interior light quality. Vinyl or aluminum clad wood windows will be permitted, subject to color approval. Lightly tinted glass is acceptable for windows and doors, but foil or reflective material is not allowed. Opacity shall be subject to DRC approval.

Colors

Window trim and shutters are typically painted in an accent color that complements the color of the main body of the house. All color selections are subject to DRC approval.

Details and Examples

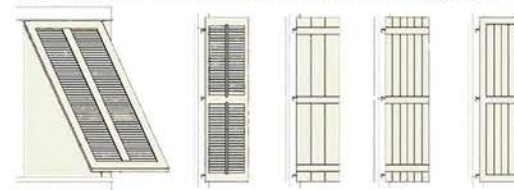
Front doors should make a strong architectural statement. Wood or glass exterior doors exceeding a height of seven feet (7'-0") are recommended. The use of double front entry doors, or doors enhanced by side or transom panels, is highly encouraged. Sliding patio doors are not permitted when visible from the street or used as a front entrance.

Louvered, bevel board, and panel shutters are highly encouraged. Louvered shutters can tilt from the top or swing open. All shutters must be operable, sized to fit the window, and be of painted wood or a pre-approved authentic looking material. Anodized type aluminum is not an acceptable shutter material.

DOORS - Heavier head trim detail is suggested



SHUTTERS - Heavier head trim detail is suggested



When side-hinged shutters are used, the width of the shutters should be half the width of the window.

WINDOWS - Heavier head trim detail is suggested



Select muntin configurations that are consistent throughout the structure. Derivations are only allowed on special windows.



FOUNDATIONS

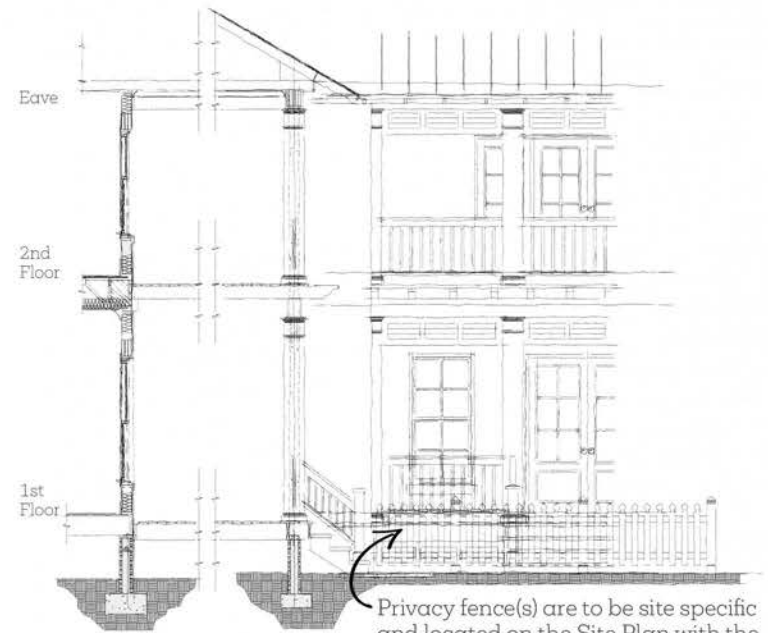
Foundations will be designed to allow for off-grade finish floor construction. Such off-grade conditions allow for breezes and shade to cool under the house. In addition to the climate advantages, such a foundation assists in isolating the finished floor from high water conditions. The proper screening of these foundations is an important aesthetic component which requires focused attention. True off-grade construction will be required at porches, while the main conditioned space will be allowed to have a stem wall with compacted fill and a concrete slab.

Materials and Methods of Construction

The foundation is comprised of several components: piers for vertical support; and beams and floor joists for horizontal support. Southern Traditional Design dictates that these piers will be clad in either brick or tabby. Screening between piers will be required and can be achieved with wood or synthetic lattice, horizontal wood boards, open brick pattern and louvers.

Details and Examples

The details and examples are predicated on a balance between the use of materials. The details show a combination of foundation screening coupled with the brick or tabby piers.



Privacy fence(s) are to be site specific and located on the Site Plan with the proposed design to complement the exterior elevations. Design is subject to Camden County and DRC approval.



CARRIAGE HOUSES: GARAGES AND PARKING STRUCTURES

The structure associated with the automobile can be detached or attached unless otherwise indicated. The character of these will commensurate with the main house and where detached, shall be connected by a porch or breezeway. Such structures may or may not have rooms above or attached shed storage appendages. These structures may be enclosed or open. Garages cannot face the street unless they are rear of the front facade respective to the street.

OUT BUILDINGS: GAZEBOS AND CABANAS

Gazebos and cabanas serve as areas of leisure. These structures shall be detailed similar to the porches of the main house.



STRUCTURAL DETAILS

Foundations and Accessory Structures

The architectural details at Bridge Pointe at Jekyll Sound will define the Southern Traditional architectural style. While specific elements of composition were addressed earlier, this section focuses on the little extras that give Bridge Pointe its unique character.

Weathervanes

The design of the weathervanes should reflect the uniqueness and personality of the owner. These weathervanes should monitor many of the climatic changes along the coastline ranging from wind direction and wind speed to navigational bearing directions. Weathervanes shall be made of copper or noncorrosive metal components.

Widow's Watches and Cupolas

Widow's watches or cupolas may be added to the main body of any house. Widow's watches and cupolas will be centered in the middle of the main house mass or as approved by the DRC. Both cupolas and widow's watches shall be appropriately proportioned to the main body of the house.

Porches

Porches are mandatory on the front of every Bridge Pointe residence and are encouraged on at least two sides of every house with a minimum of 8-feet deep. Wrap-around porches are encouraged. Porches are permitted to be one or two stories. Flat porch roofs utilized as connectors to accessory structures will be permitted.

Columns

Columns are a simple interpretation of Southern Traditional framed houses. Square timber columns, with, or without, chamfered edges with minimal dimensions of 8x8, and square box columns a minimum of 10x10 dimension with a 12" base, will be permitted. Half-height, square-tapered columns placed on brick or tabby bases, and cluster columns will be permitted. Round tapered columns will also be permitted with the proper relationship to the beam. Columns shall be proportioned to one story and two story conditions. Handrail details will comprise of square balusters with tight spacing, coupled with simple newel posts or pedestal bases for the columns.

Chimneys

Chimney dimensions shall be compatible in scale with the structure; however, the minimum size shall be two feet six inches (2'-6") by four feet six inches (4'-6"). Prefabricated metal fireplaces, when used, must have coverings for all exposed flue pipes. No direct vent fireplaces will be permitted.



Complementing the Architectural Style of Your Home and Harmonizing it to the Coastal Setting

The exterior color palette for Bridge Pointe at Jekyll Sound will be a complement to the architectural style of the residences. Composition of the recommended color palette is from a by-gone era: *The Sherwin Williams Historic Preservation Palette*. Since the naturally occurring colors of the surrounding environment have a tendency to be lightly muted or have grayed patina due to the exposure of the climate, the exterior color matrix will harmonize the architectural expression of the homes with the soft, naturally occurring hues of the surrounding environment.

Application

The basic color philosophy for the home is to contrast the body of the home with the trim. For example, a dark body color would be contrasted and/or complemented by a light trim color and vice versa. The accent would then be selected to highlight the special details or special components of the home with a splash of color. Body refers to the body of the home, i.e., the siding. Corner boards may also be considered as the body. Trim refers to any and all elements other than the body of the home, i.e., columns, railings, fascia, window and door frames, sashes and corner boards if they are not painted the body color. Accent colors will have limited applications and would only be used to highlight special components and/or details of the home. For example, special components would include cupolas, shutters, front door/main entry door and/or back door.

The Sherwin Williams Historic Exterior Preservation Palette is the recommended and general guide to the application of the exterior color to your Bridge Pointe home. The selections are meant to summarize the range of colors to select from. Other color selections are not shown in the Sherwin Williams Historic Exterior Preservation Palette may be used with prior approval of the Bridge Pointe Design Review Committee. Final specified colors may be either color-matched to an approved brand of exterior paint, or an alternate color may be selected with prior approval from the DRC.



BODY Renwick Olive SW2815
TRIM Rookwood Dark Brown SW2808
ACCENT Renwick Golden Oak SW2824



BODY Rookwood Blue Green SW2811
TRIM Rookwood Terra Cotta SW2803
ACCENT Renwick Rose Beige SW2804



BODY Roycroft Suede SW2842
TRIM Roycroft Brass SW2843
ACCENT Polished Mahogany SW2838



BODY Dawning Straw SW2813
TRIM Rookwood Red SW2802
ACCENT Rookwood Dark Green SW2816



BODY Renwick Heather SW2818
TRIM Dawning Slate SW2819
ACCENT Dawning Stone SW2821



BODY Craftsman Brown SW2835
TRIM Roycroft Vellum SW2833
ACCENT Quartersawn Oak SW2836



BODY Dawning Earth SW2820
TRIM Downing Sand SW2822
ACCENT Rookwood Amber SW2817



BODY Weathered Shingle SW2841
TRIM Aurora Brown SW2837
ACCENT Roycroft Battle Green SW2847



BODY Birdseye Maple SW2834
TRIM Weathered Shingle SW2841
ACCENT Roycroft Vellum SW2833



BODY Roycroft Bronze Green SW2846
TRIM Birdseye Maple SW2834
ACCENT Hammered Silver SW2840



BODY Bungalow Gray SW2845
TRIM Roycroft Battle Green SW2847
ACCENT Roycroft Copper Red SW2839



BODY Aurora Brown SW2837
TRIM Roycroft Suede SW2842
ACCENT Roycroft Bronze Green SW2846

Colors are represented as closely as possible by standard printing capabilities.

BRIDGE POINTE COLOR PALETTE

THE BRIDGE POINTE LANDSCAPE GUIDE

In designing Bridge Pointe at Jekyll Sound, the HOA strives to integrate residential activity and other recreational areas within a park-like setting. Environmentally sensitive landscape design can only be achieved through a careful, well thought-out response to the configuration, the vegetation and the topography of the building site.

THE LANDSCAPE THEME

The landscape theme for Bridge Pointe at Jekyll Sound is a natural one that seeks to protect and preserve the native vegetation by keeping homesite disturbance to a minimum. It is imperative that the natural beauty and character of this coastal Georgia setting be preserved at Bridge Pointe with the character of the landscaping remaining as natural as possible. Mostly native and traditional plant materials should be used, keeping the characteristics of the homesite as natural and impact-free as possible. The protection and preservation of existing plant materials is much more important than the introduction of new ones.

THE LANDSCAPE DESIGN PROCESS

It is recommended that each home owner first have their lot surveyed for topography and existing plant materials. The pre-construction preservation of existing, native plant materials is extremely important in maintaining the natural feel of Bridge Pointe. Complete design, plant material specifications and detailed Landscape Plans prepared by design professionals must be submitted to the DRC prior to site construction. The plans will include existing plant materials, building and pavement restriction lines and proposed site grading and drainage. Factors such as solar orientation, shade patterns, soil types, topography, form and function and aesthetics should also be considered during the landscape design process. The landscape plan must demonstrate a reasonable attempt to preserve as much native plant material as possible. New plant materials introduced will be mostly native or locally indigenous and should mesh well with the existing native plant materials.

PLANT SELECTION

Property owners will be encouraged to apply the principles of Xeriscape in planning their landscape design. Xeriscape landscapes are comprised of plants that are hearty to the area and which require very little or no irrigation once established. All plants should be matched to their site conditions. The Georgia coast is home to hundreds of hearty plant species that should be used whenever possible. For the most part, these plant types will survive a multitude of site conditions. They have adapted to the climate and environment and can flourish through drought, excessive heat, as well as periods of excessive precipitation.

IRRIGATION

In practicing Xeriscaping, very little or no irrigation will be required once plant materials are established. Drip irrigation is encouraged whenever needed, especially during the establishment of new plants. Grass areas, while limited, must be irrigated with an underground irrigation system.

SITE PREPARATION AND EROSION CONTROL

Erosion control is very important in a coastal environment with the preservation of existing plant materials. It is each resident's responsibility to limit erosion by leaving as much native plant material as possible, and leaving it untouched. Also, the introduction of new plant materials can help to slow and/or prevent erosion. On-site grading will be very important on each site. Grading plans must be submitted and reviewed by design professionals or civil engineers prior to any site construction. Existing trees and vegeations must also be taken into account when grading plans are being produced. Root disturbance and compaction should be kept at a minimum. Silt fences and tree protection fences are required during construction.

EXTERIOR LIGHTING

Enhancing the Landscape

LED down lighting will be the preferred method of lighting. It will help to reduce glare, to better light drives and paths and to assure that neighboring properties are protected from bright light sources.



DRIVEWAYS

Materials



Double-track driveways leading to home and attached or detached garages are preferred. Driveway aprons will be tabby or a smooth finished concrete. Diagonal herringbone brick will be used where sidewalks cross driveways.



COMPLEMENTING ELEMENTS



In order to preserve and protect the natural beauty of Bridge Pointe, property owners are bound by the Bridge Pointe Architectural Design Guidelines. These state that the proposed improvements and landscaping, including any alterations or additions on any homesite, must be reviewed and approved by the Design Review Committee (DRC).

The DRC is composed of three members appointed by the Declaration of the Executive Board of Association, and it will evaluate each of the plans submitted by an owner on adherence to the design criteria, performance and quality standards set forth in the Design Guidelines and compatibility of the design with the adjoining sites and common spaces.

The DRC will interpret the standards at the request of the owners. If conflicts arise in meeting these standards, the DRC will review and evaluate the conditions. The DRC will review each submittal and respond before continuing to the next phase of the review process. Unapproved submissions shall be revised and resubmitted for review and approval. Approval will be in writing and shall in no way relieve the owner and builder of responsibility and liability for the adherence to any applicable ordinances and codes.

THE DESIGN REVIEW COMMITTEE

The following is an outline of the procedures for plan submissions for single-family detached homes. All plans are to be submitted to the Design Review Committee for review and must be approved by the DRC for execution. Once approved, applications are valid for one year from date of approval. After one year, applications expire and become invalid. If the applicant wishes to proceed with the project after the application expiration date, the applicant must apply for a new approval. See Design Review Application in back pocket for new construction.

Professional Consultants

To ensure architectural quality and integrity of the Bridge Pointe at Jekyll Sound Community, an architect or DRC approved design professional will be required to assist the owner in the design of the property. The architect or design professional shall be selected by the owner and have experience with residential designs of this style.

Preliminary Plan

At the discretion of the applicant, a schematic or design concept may be submitted to the DRC in order to determine suitability of a particular design for Bridge Pointe. Preliminary plan submission is mandatory to resolve potential problems before going through the time and expense of preparing complete construction documents. Preliminary plans shall include, but need not be limited to:

- 1) Application form, as provided by the DRC.
- 2) A Site Plan at minimum 1"=10'-0" or other suitable scale showing all trees with a caliper greater than four inches at a height greater than four feet above grade, all grades, horizontal and vertical improvements with pertinent dimensions, setbacks and easements per the Camden County, Georgia planning department requirements.
- 3) Floor plans at minimum 1/4"=1'-0", which may be shown on the site plan.
- 4) All elevations at minimum 1/4"=1'-0" that define the exterior.
- 5) A list of materials and their locations which include, but not limited to, character, color and texture.
- 6) A \$250 Application Fee.

The DRC or their designated representative will render an opinion whether the preliminary submittal is acceptable. The opinion will be strictly non-binding and will be offered in an effort to save the applicant time and expense.

Final Submission

Two sets of architectural and landscape site plans and specifications are required in order for the DRC to consider approval or disapproval. This will provide a systematic and uniform review of the proposed construction for all applicants. Plans and specifications shall be completed and detailed so that all significant aspects of construction are clearly identified and understandable by construction professionals. As a minimum, the Final Submission drawings shall include:

Site Plans

The drawing scale should not be less than 1"=10'-0". The plans should include:

- a) Access street(s) and walkway(s), drives and other exterior improvements, including material and color.
- b) A grading and drainage plan, consistent with development drainage plan.
- c) A fill plan, if any (indicating run-off and a tree preservation method).
- d) All culverts (location and size and flow direction).
- e) A foundation plan.
- f) An exterior lighting plan
- g) Service yards and/or contractor lay down areas.
- h) Locate all utility service entry points to the site-water, natural gas, electric, communications/media, etc.
- i) A certified tree survey showing the location and species of trees four inches or larger in diameter at a point four feet above ground.
- j) A building plan, to scale, overlaid on the tree survey identifying all structures and other improvements to be included in the scheme with an indication of trees to remain and trees to be removed (at the same scale as the boundary/tree survey).
- k) The location and identification of special features (e.g. drainage ditches, dunes, adjacent structures, etc.).
- l) Mechanical equipment showing location and screening details: AC compressors, LP gas tanks, natural gas meters, water meters.
- m) All visible mechanical, electrical and plumbing components shall be shown in the site plan, floor plan and the relevant exterior elevations.
- n) Location of contractor I.D. sign and outdoor toilet facility.



*From the mountains to the coast, and special places in between,
We are committed to acquiring and developing highly desirable land
and delivering outstanding quality and value to our customers.
With an emphasis on preservation, we seek to protect and maintain the natural integrity
of the land, resulting in exceptional places for working, living and recreation.*

We are committed to creating unique residential communities which preserve and showcase the natural beauty of their settings. Through thoughtful design and first class planning, our properties have led the way in providing exceptional residential community living at every level.

Not only is our proven development experience and consistent success your assurance of lasting quality and value, but also of a lifestyle that fits your needs perfectly.

Our philosophy of developing quality communities while maintaining the integrity of the areas in which they exist can be found within each and every property we offer.

MISSION STATEMENT



BRIDGE POINTE AT JEKYLL SOUND

It is our primary goal to achieve an uncommon and visually pleasing blend of natural beauty with man-made elements at Bridge Pointe. Residential activity and active recreational areas have been successfully integrated within a beautiful coastal setting. The developers of Bridge Pointe have implemented a carefully researched and appropriate plan, which they, in great part, administer through the Design Review Committee (DRC).

Environmentally sensitive design can only be achieved through a careful, well thought-out response to the configuration, the vegetation and topography of the building site. These issues need to be addressed by your architect and carefully incorporated into the plans for your custom home at Bridge Pointe.

These guidelines are intended to serve as your benchmark in the often complex process of planning a new home. While this document can prove to be a helpful tool in planning homes at Bridge Pointe, it can neither provide every answer nor guarantee solutions for every situation. Nevertheless, as questions arise concerning your building plans, our staff and the committee itself will be most happy to help you. We encourage you to participate when possible in any and all presentations to the board as your architect, designer or builder makes them.

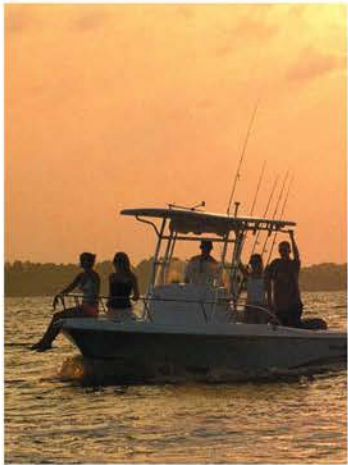
We hope you, your architect/design professional and builder will find these guidelines helpful and we encourage your questions and comments. If we may be of any assistance, please do not hesitate to call on us.

Sincerely,

Bridge Pointe Design Review Committee



STONE AND THEME



A GUIDE TO THE BRIDGE POINTE AT JEKYLL SOUND ARCHITECTURAL STYLE

Bridge Pointe at Jekyll Sound is located in a magnificent coastal Georgia setting. The natural beauty of the area is the inspiration of the natural aesthetics of the architecture at Bridge Pointe. This architecture can be referred to as *Southern Traditional*. However, this aesthetic is derived from the organic nature of the area. The intent of this architecture is to have honest simplicity in its form and detailing resulting in an aesthetic integrity unique to your home. The origins of these details are rooted in the need for shade, ventilation, shelter from the elements and a place for life's activities. It is no accident that many coastal communities are filled with cottages that employ the use of these important features and details.

Bridge Pointe at Jekyll Sound is a community of substance, security and serenity. The overall tone is eclectic, achieved through the use of quality appointments and detailing to create a blended community of Southern Traditional Architectural Design.

This personality of style will be obtained through the use of quality materials, similarity of detail and period specific detailing. The benefits derived will be a community of aesthetic cohesiveness, escalating property values and a growing desire to reside here.

The approved style of homes, although varied, in essence create an eclectic theme and consist of components from a variety of architectural themes, including Low Country, Country Cottage, Bungalow, Craftsman, Stick, Queen Anne, Shingle and Folk Victorian. The common elements are front porches, large or clustered columns, exposed rafter tails, door and window trims, exposed beams, brackets and shutters. Regardless of the size of the residence, harmony will be achieved through the use of materials and detailing.

DESIGN PHILOSOPHY